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Middle Street, Nazeing, EN9 2LB |
£800,000 | Freehold

Middle Street, Nazeing, EN9 2LB

This stunning five-bedroom detached property is a must-see for any family seeking a comfortable, modern and spacious home. Chain-free and built in 2013 - with new flooring, decoration and bathroom upgrades in 2021 - this modern gem offers an impressive 2445 sq² of living accommodation over four floors. The lower ground floor boasts a high-quality modern kitchen/diner with fully integrated appliances and bi-fold doors leading to an outdoor breakfast terrace, with plenty of storage space. The ground floor features a grand entrance/reception area, utility room, cloakroom, lounge and contemporary balcony with glass balustrade, all leading to a beautifully landscaped 80' rear garden with seating areas, built-in pizza oven and even a Yurt for those who love to entertain. On the first floor, there are four double bedrooms, two of which have ensuite shower rooms, and a main family bathroom with bath and shower. The second floor features an expansive master bedroom with twin Velux windows to the rear and an ensuite bathroom. This property also includes a block-paved driveway with ample off-street parking, electric vehicle charging point, bike-store, bin-store, garden access from both sides and an integral single garage that can be converted into additional living space. The property also benefits from a water softener system and on-tap filtered drinking water. Located on Middle Street, Nazeing's premier road, the property is only a short stroll from the local shops and Lea Valley Park. Broxbourne train station is just a 5-minute drive away, with speedy services to the City, West End, Cambridge and Stansted Airport. Easy access to the M25, M11 and A10 make this property ideal for commuters seeking a comfortable village setting with top-notch transport connections. This high-quality family home is a true gem that should be seen to be fully appreciated, so book your viewing today!

Key features

- Stunning Five Double Bedroom 2445 sq², Detached Family Home

- Integral Garage with Potential to Covert along with Block Paved Driveway Providing Ample Off Street Parking and Electric Vehicle Charging Port

- Three Bedrooms with En-Suites, Family Bathroom and Ground Floor Cloakroom

- Landscaped 80' Rear Garden with Yurt, Built in Seating and Pizza Oven. Ideal for Entertaining

- Located on Middle Street, Nazeing's Premier Road. Only a Short Stroll to Local Shops and 5-Minute Drive to Broxbourne Station. Good schools, Cheshunt Retail Park and New Sunset Studios Nearby

- High Quality and Modern Kitchen / Diner with Fully Integrated Appliances and Bi-Fold Doors to Outdoor Breakfast Area



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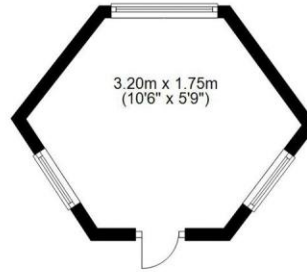
hoddesdon@paulwallace.co.uk

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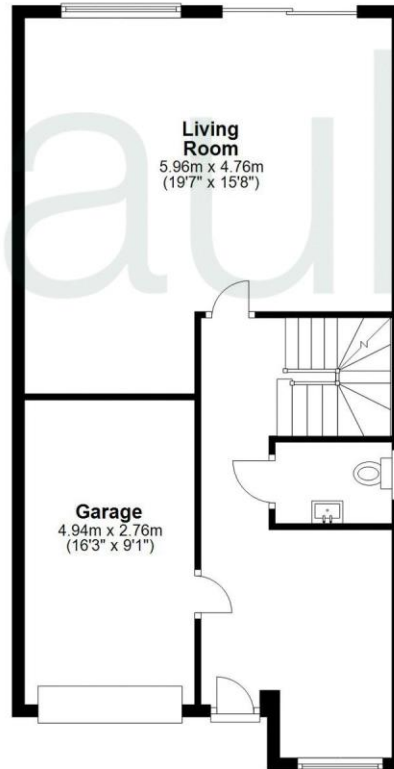
Outbuilding
Approx. 11.0 sq. metres (118.7 sq. feet)



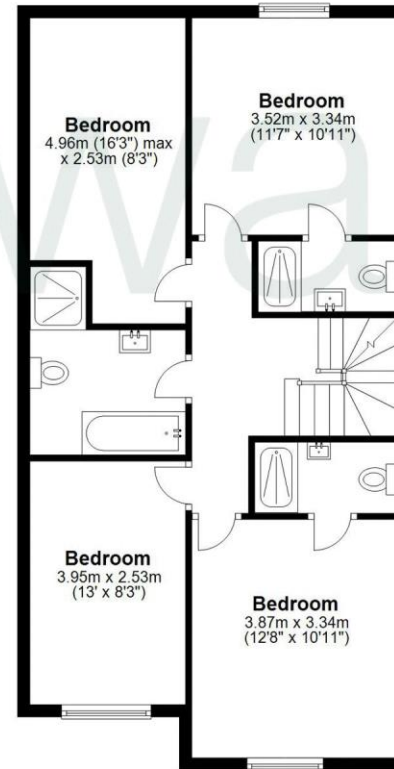
Basement
Approx. 38.3 sq. metres (412.5 sq. feet)



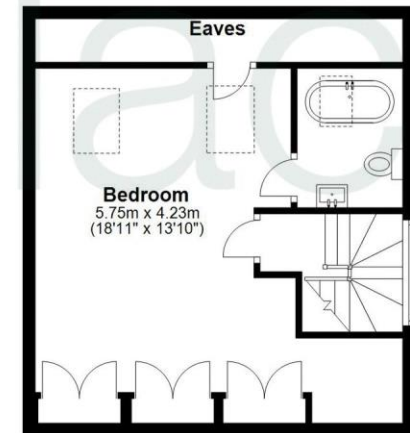
Ground Floor
Approx. 68.0 sq. metres (731.7 sq. feet)



First Floor
Approx. 69.3 sq. metres (745.7 sq. feet)



Second Floor
Approx. 39.1 sq. metres (420.9 sq. feet)

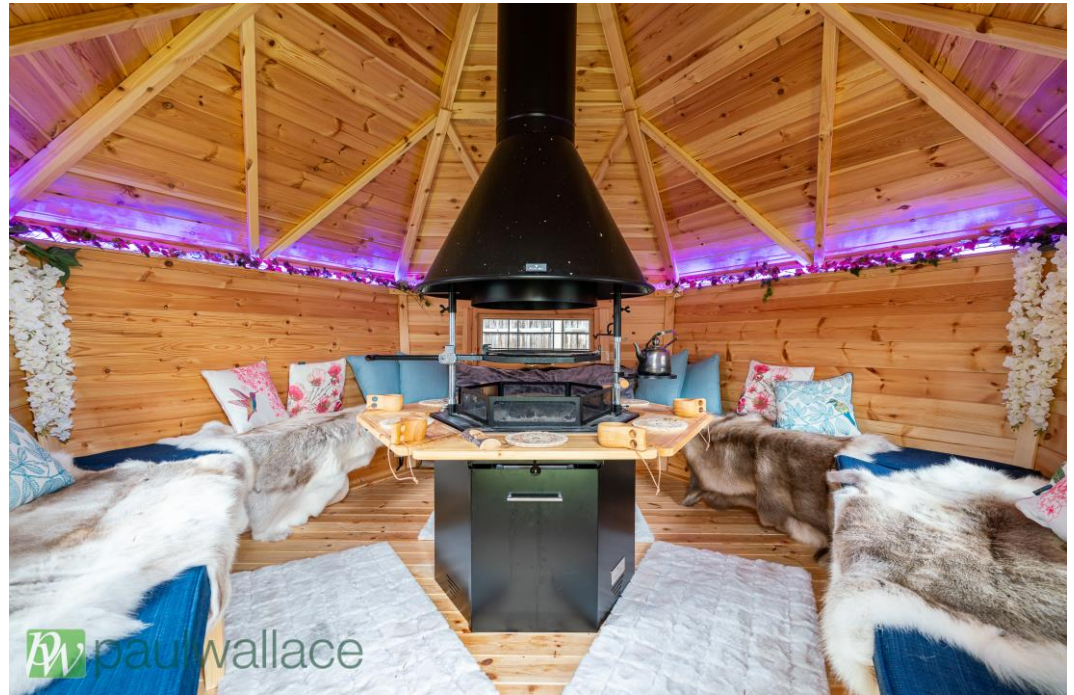


Total area: approx. 225.7 sq. metres (2429.5 sq. feet)

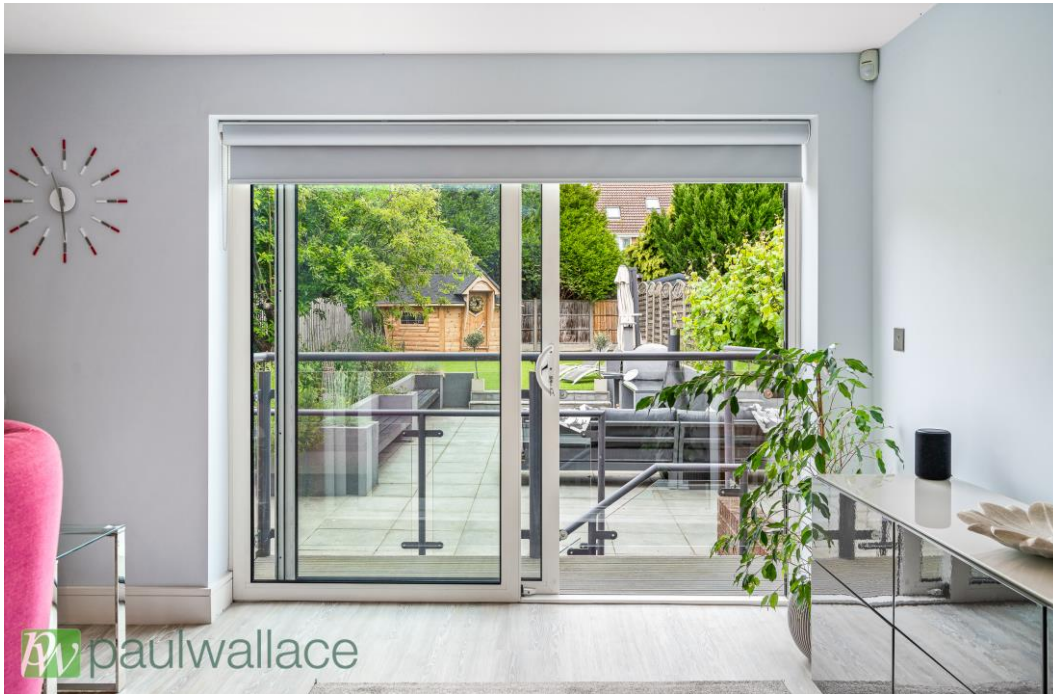
FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE

Whilst every attempt has been made to ensure the accuracy of the floor plan shown, all measurements, positioning, fixtures, features, fittings and any other data shown are an approximate interpretation for illustrative purposes only and are not to scale. No responsibility is taken for any error, omission, miss-statement or use of data shown.

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Registered Address: Unit 3 The Brookfield Centre, Cheshunt, Herts, EN8 0NN Company Registration Number: OC414280 | VAT Number: 276958046©2022 Paul Wallace Group LLP trading as Paul Wallace Estate Agents



Paul Wallace Estate Agents

70 High Street
Hoddesdon
Hertfordshire
EN11 8ET



01992 466471



hoddesdon@paulwallace.co.uk



www.paulwallace.co.uk



Opening Times

Mon	9am to 6.30pm
Tues	9am to 6.30pm
Wed	9am to 6.30pm
Thurs	9am to 6.30pm
Fri	9am to 6.30pm
Sat	9am to 5.00pm
Sun	Closed



Agents Note: Whilst every care has been taken to prepare these sales particulars, they are for guidance purposes only. All measurements are approximate and are for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon. Potential buyers are advised to recheck the measurements.